

ARCHITECT:
WASA/ODA
a joint venture
 ASSOCIATED ARCHITECTS/ENGINEERS
 Wank Adams Slavin Associates, L.L.P.
 Ohlhausen DuBois Architects

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 New York, New York 10003
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Ohlhausen DuBois Architects
 14 East 4th Street
 New York, N.Y. 10012

STRUCTURAL ENGINEERS:
ROBERT SILMAN ASSOCIATES, P.C.
 CONSULTING ENGINEERS
 88 UNIVERSITY PLACE
 NEW YORK, NY 10003

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No.	DATE	DESCRIPTION
1	12/27/02	BID SET



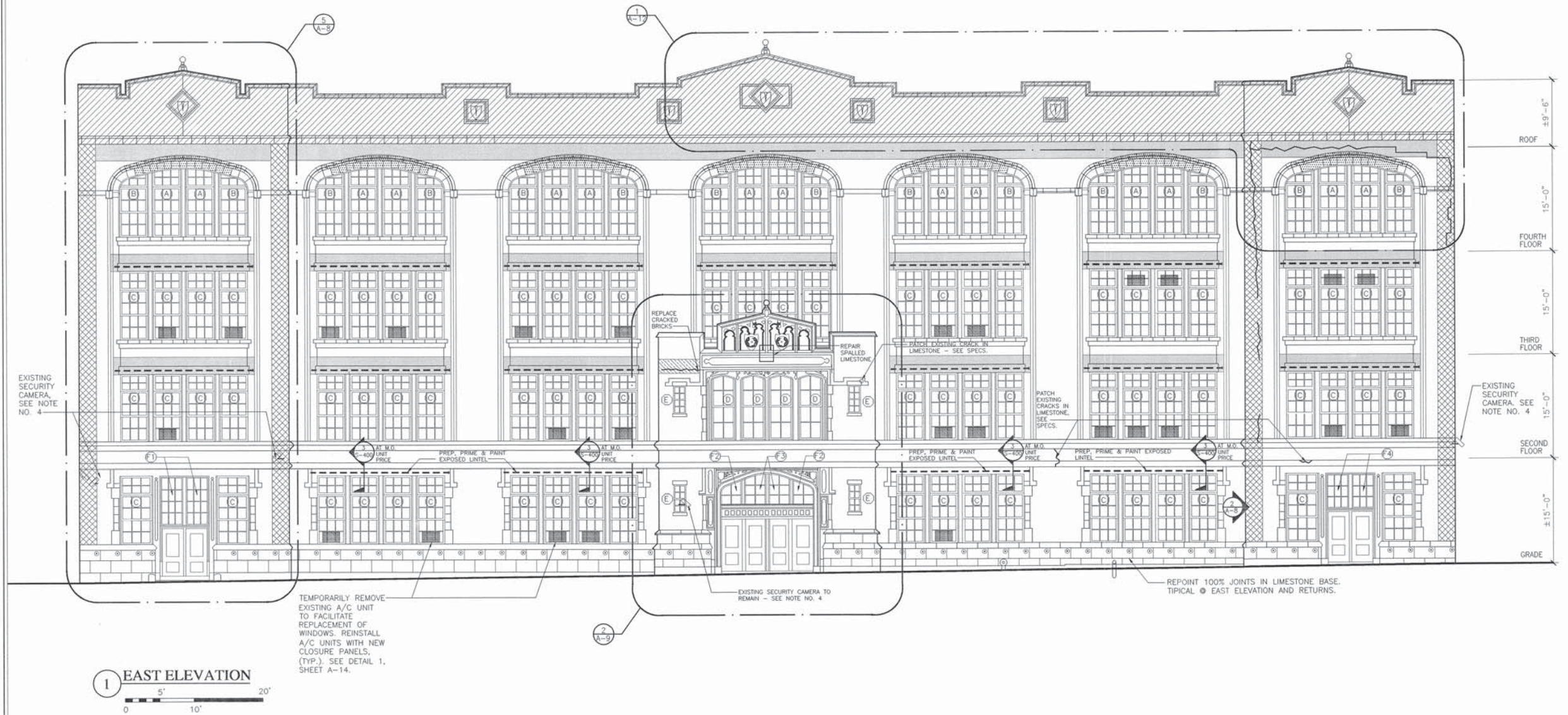
City of New York
DDC
 Department of Design and Construction

DIVISION OF STRUCTURES
 BUREAU OF ARCHITECTURE & ENGINEERING
 CAPITAL PROJECT NO. HH112BWF
 PROJECT NAME:
EXTERIOR MASONRY RESTORATION & WINDOW REPLACEMENT AT BROOKLYN WOMEN'S SHELTER
 116 WILLIAMS AVENUE
 BROOKLYN, NY 11207
 FOR THE:
 DEPARTMENT OF HOMELESS SERVICES

DRAWING TITLE:
EAST ELEVATION

WASA PROJ. NO.: 50222
 DATE: 08/05/2002
 DRAWN BY: C.A.
 SCALE: 1/8"=1'-0"
 CHECKED BY: D.W.

SHEET NO.:
A-2



LEGEND OF SYMBOLS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DISMANTLE EXISTING PARAPET. SCRAPE, PRIME, PAINT AND FLASH SPANDREL STEEL. REBUILD PARAPET TO MATCH EXISTING.		REMOVE EXISTING TERRA COTTA AS REQUIRED TO EXPOSE AND TREAT SPANDREL BEAM, AND REPLACE WITH GLASS FIBER REINFORCED CONCRETE.		REPLACE OUTER WYTHE OF BRICK WITH NEW BRICK TO MATCH EXISTING.
	REMOVE EXISTING BRICK TO EXPOSE STEEL SPANDREL BEYOND. SCRAPE, PRIME, PAINT AND FLASH SPANDREL STEEL. REPLACE LINTEL WHERE DESIGNATED AND INSTALL NEW BRICK TO MATCH EXISTING.		REPLACE DETERIORATED STEEL LITELS. REMOVE MASONRY AS REQUIRED. (SEE STRUCTURAL DRAWINGS).		REMOVE EXISTING STUCCO. REPLACE CRACKED AND SPALLED BRICK. INSTALL NEW STUCCO.
	REBUILD CRACKED AND DISPLACED MASONRY AT CORNERS. REMOVE MASONRY, SCRAPE, PRIME, PAINT AND FLASH COLUMN STEEL, INSTALL NEW BRICKWORK TO MATCH EXISTING. (BASE BID UNLESS OTHERWISE NOTED).		CUT LIMESTONE TO EXPOSE CORRODED ANCHORS. MECHANICALLY CLEAN ANCHORS, APPLY PROTECTIVE COATING AND PATCH LIMESTONE. SEE TYPICAL SPALL REPAIR DETAIL, 1/A-9.		REPLACE WINDOWS ○ WINDOW DESIGNATION, (SEE SHEET A-14)

GENERAL NOTES:

1. CONFIGURATION AND DIMENSIONS OF EXISTING CONSTRUCTION IS BASED ON ORIGINAL CONSTRUCTION DRAWINGS PREPARED IN 1923. CONTRACTOR SHALL VERIFY IN FIELD ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.
2. WHEREVER BRICKS ARE REMOVED, REPLACE WITH NEW BRICKS TO MATCH EXISTING SIZE, COLOR, TEXTURES; AND COLOR, WIDTH AND TOOLING OF MORTAR JOINTS. REPLICATE ORIGINAL COURSING PATTERN, TYPICAL - SEE DETAIL 1/A-8.
3. REFER TO SHEET S-300 FOR APPLICABLE STRUCTURAL DETAILS.
4. CITY SHALL REMOVE, TEMPORARILY STORE, AND REINSTALL EXISTING SECURITY CAMERAS. CONTRACTOR SHALL COORDINATE WITH DHS/BUILDING MANAGER FOR TEMPORARY REMOVAL AND REINSTALLATION OF EXISTING SECURITY CAMERAS.

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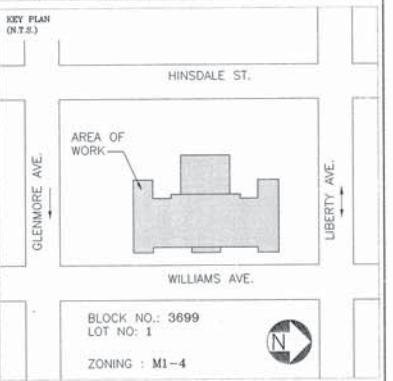
STRUCTURAL ENGINEERS:
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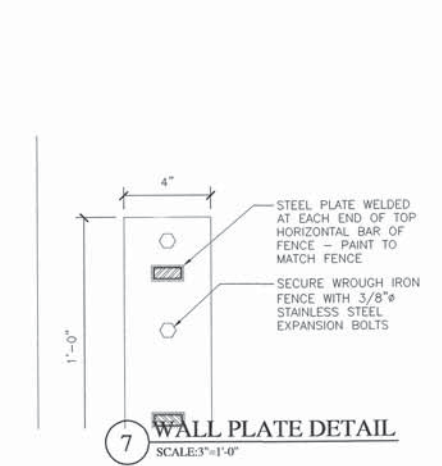
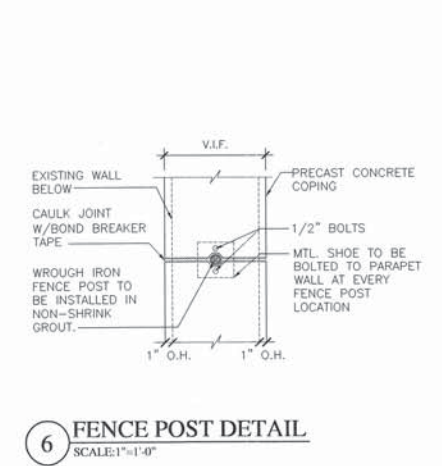
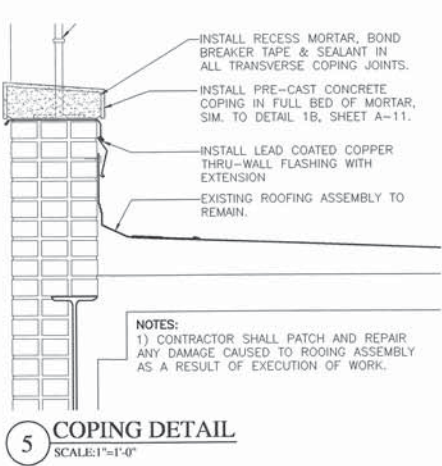
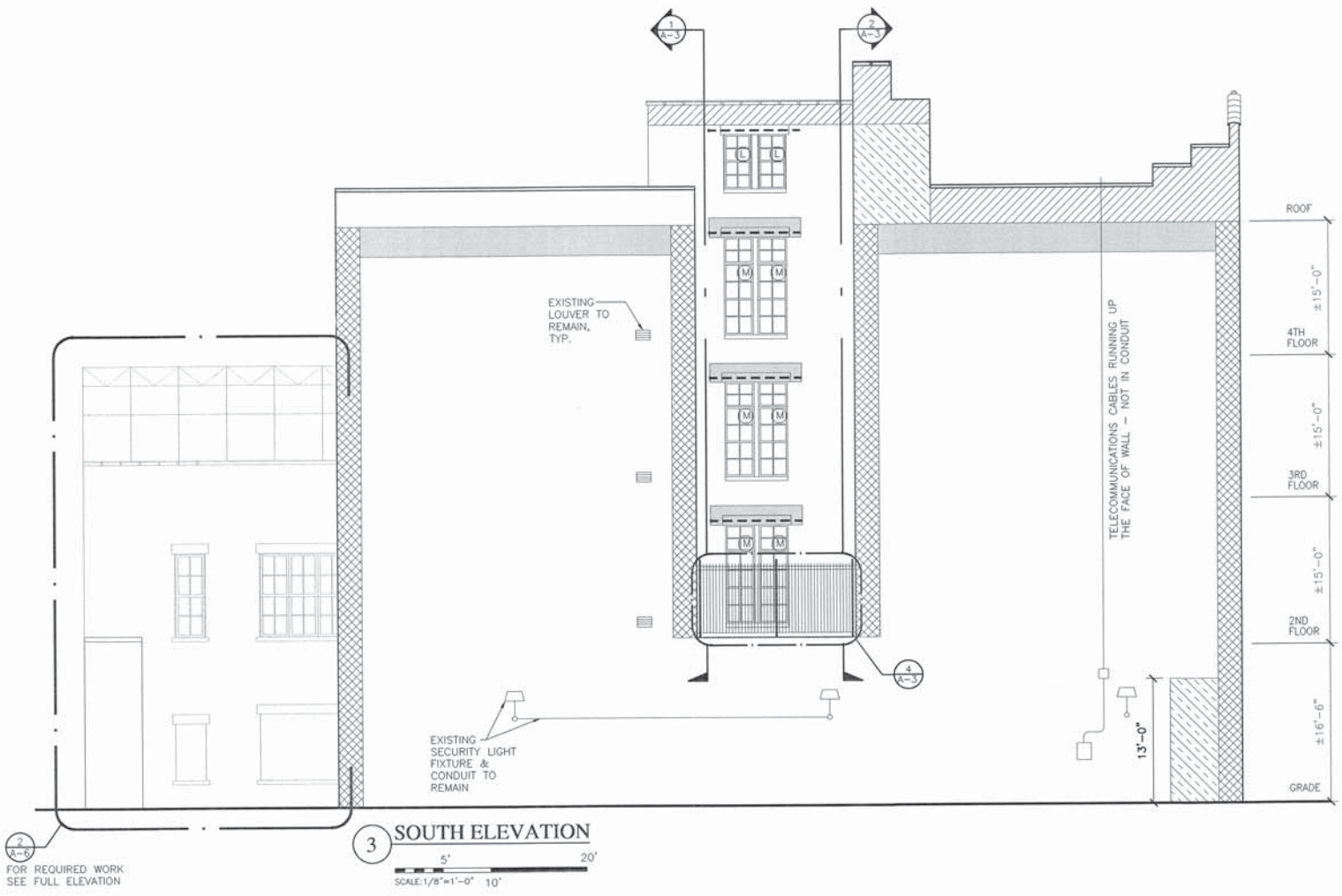
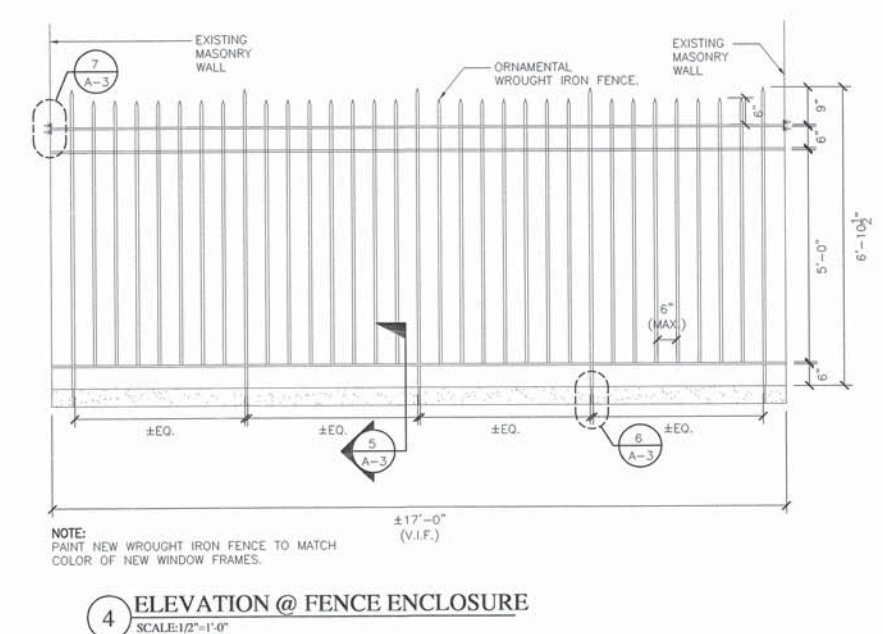


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 116 WILLIAMS AVENUE
 BROOKLYN, NY 11207
 FOR THE:
 DEPARTMENT OF HOMELESS SERVICES

SOUTH ELEVATION & RETURN ELEVATIONS

WASA PROJ. NO.:	DATE:	SHEET NO.:
50222	08/05/2002	
DRAWN BY:	SCALE:	
C.A.	AS SHOWN	
CHECKED BY:		
D.W.		



LEGEND OF SYMBOLS		LEGEND OF SYMBOLS		LEGEND OF SYMBOLS	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
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	REBUILD CRACKED AND DISPLACED MASONRY AT CORNERS. REMOVE MASONRY, SCRAPE, PRIME, PAINT AND FLASH COLUMN STEEL. INSTALL NEW BRICKWORK TO MATCH EXISTING. (BASE BID UNLESS OTHERWISE NOTED).		CUT LIMESTONE TO EXPOSE CORRODED ANCHORS. MECHANICALLY CLEAN ANCHORS. APPLY PROTECTIVE COATING AND PATCH LIMESTONE. SEE TYPICAL SPALL REPAIR DETAIL, 1/A-9.		REPLACE WINDOWS @WINDOW DESIGNATION, (SEE SHEET A-14)

GENERAL NOTES:

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- TEMPORARILY DISCONNECT, REMOVE AND STORE EXISTING LIGHT FIXTURES AND ANTENNA(S) UNTIL REBUILDING OF MASONRY IS COMPLETE. EXISTING BRANCH WIRING AND CONDUIT SHALL BE MAINTAINED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:
 - PRIOR TO REMOVAL, VERIFY THAT EXISTING LIGHT FIXTURES ARE IN OPERATING CONDITION, PROPERLY GROUNDED, WIRING IS FREE OF SHORTS AND AUTOMATIC CONTROLS OPERATE IN A TIMELY MANNER.
 - STORE LIGHT FIXTURES ON SITE IN A LOCATION DESIGNATED BY THE BUILDING SUPERINTENDENT.
 - CLEAN REFLECTOR AND DIFFUSER OF EXISTING FIXTURES. INSTALL NEW LAMPS COMPLYING WITH MANUFACTURER'S RECOMMENDATION.
 - INSTALL NEW JUNCTION BOXES FOR REMOUNTING FIXTURES.
 - REPLACE ANY DAMAGED CONDUIT OR WIRING.
 - EXTEND WIRING AND CONDUIT AS REQUIRED TO ACCOMMODATE REBUILDING OF PARAPETS AND REINSTALLING EXISTING LIGHT FIXTURES.
 - REINSTALL LIGHT FIXTURES SECURELY AND REALIGN LIGHT BEAMS.
 - RESET AUTOMATIC CONTROLS AFTER WORK IS COMPLETE AND VERIFY THAT LIGHT FIXTURES OPERATE IN A TIMELY MANNER.

THE CONTRACTOR SHALL HIRE AND COORDINATE A LICENSED ELECTRICIAN TO PERFORM THE WORK LISTED ABOVE.

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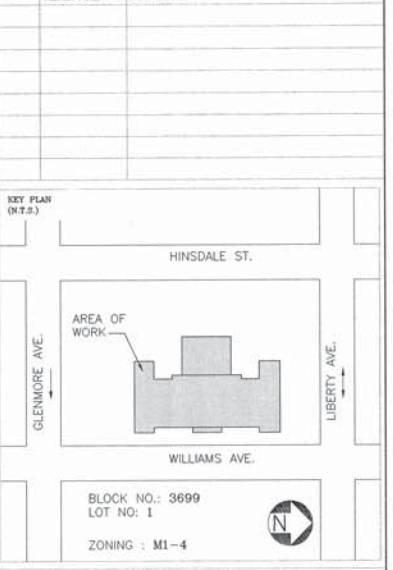
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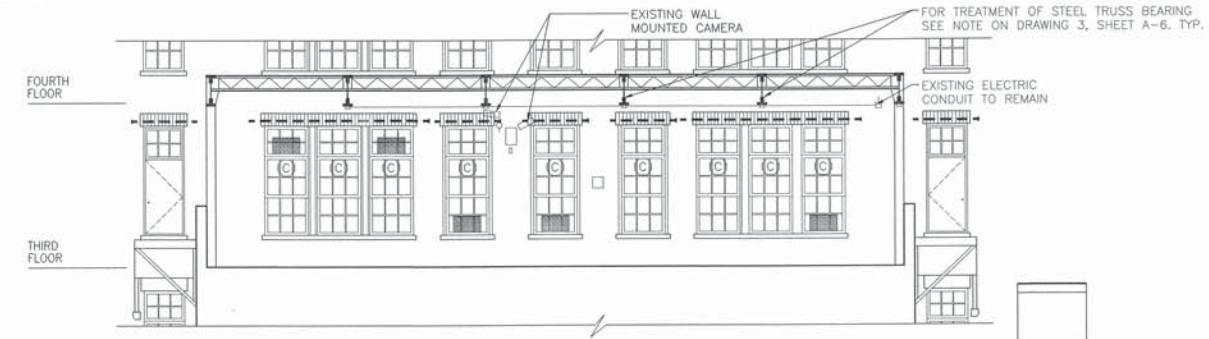
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FOR THE:
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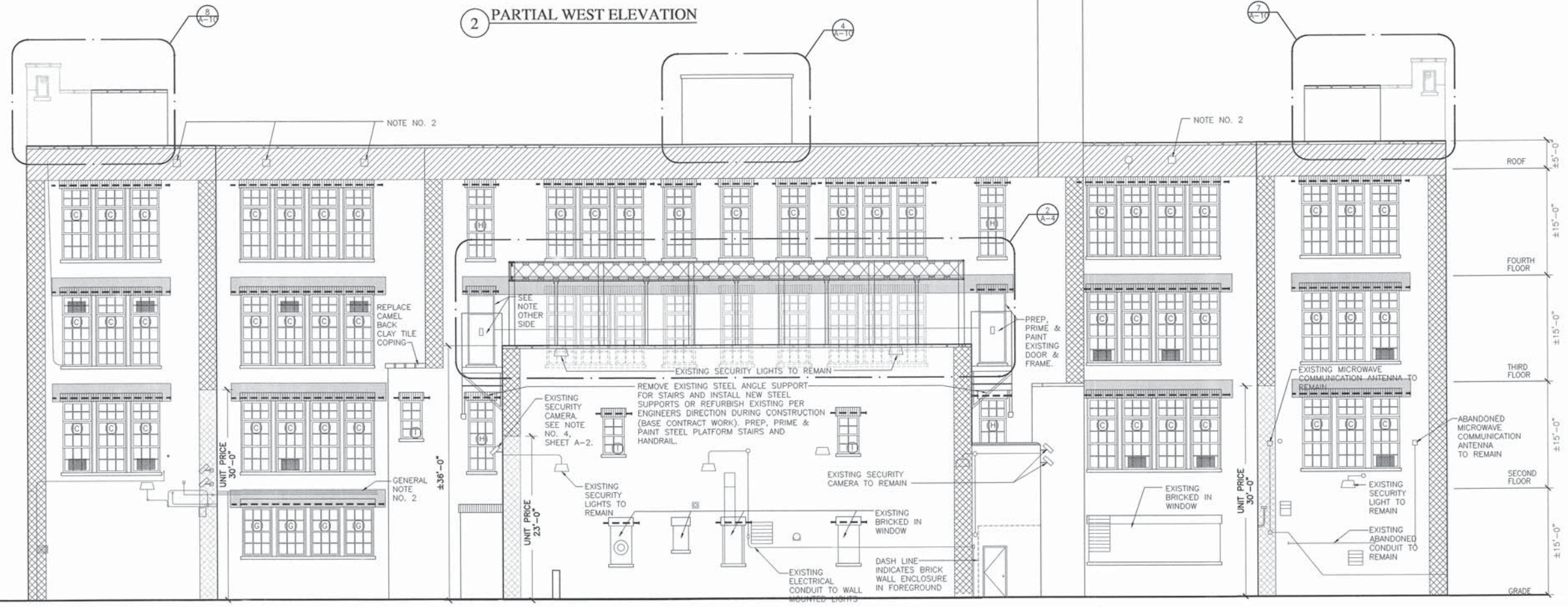
WEST ELEVATION

WASA PROJ. NO.: 50222
 DATE: 08/05/2002
 DRAWN BY: C.A.
 SCALE: 1/8"=1'-0"
 CHECKED BY: D.W.

SHEET NO.:
A-4



2 PARTIAL WEST ELEVATION



1 WEST ELEVATION

LEGEND OF SYMBOLS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DISMANTLE EXISTING PARAPET. SCRAPE, PRIME, PAINT AND FLASH SPANDREL STEEL. REBUILD PARAPET TO MATCH EXISTING.		REMOVE EXISTING TERRA COTTA AS REQUIRED TO EXPOSE AND TREAT SPANDREL BEAM, AND REPLACE WITH GLASS FIBER REINFORCED CONCRETE.		REPLACE OUTER WYTHE OF BRICK WITH NEW BRICK TO MATCH EXISTING.
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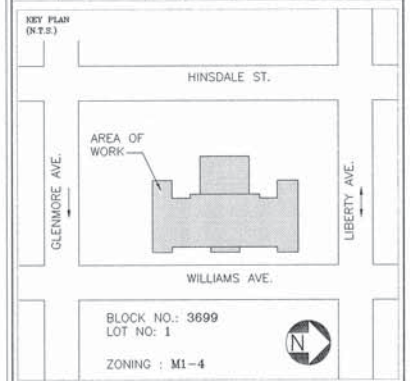
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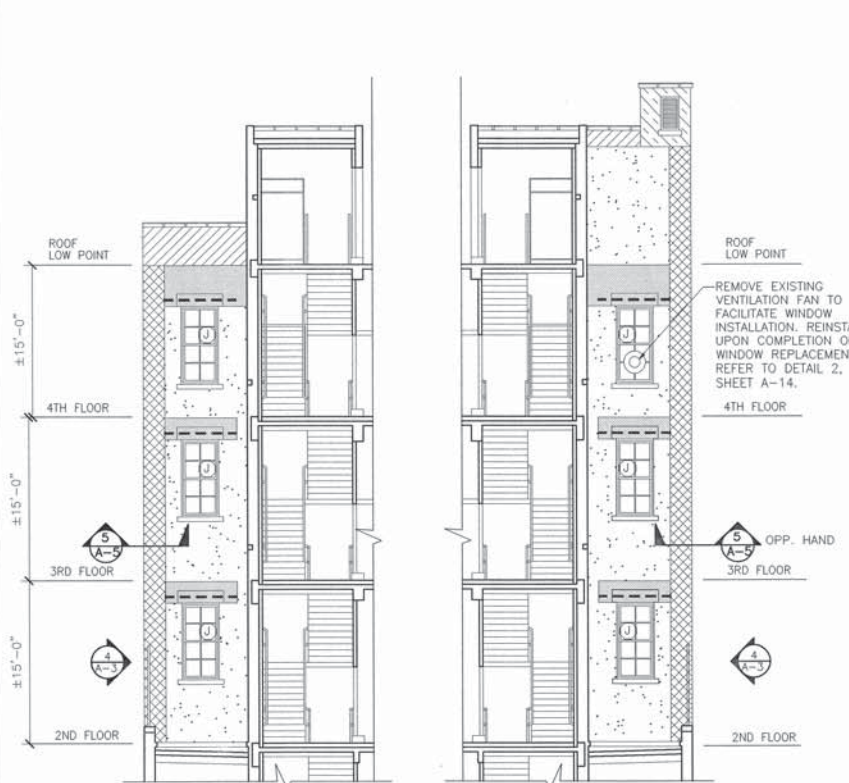


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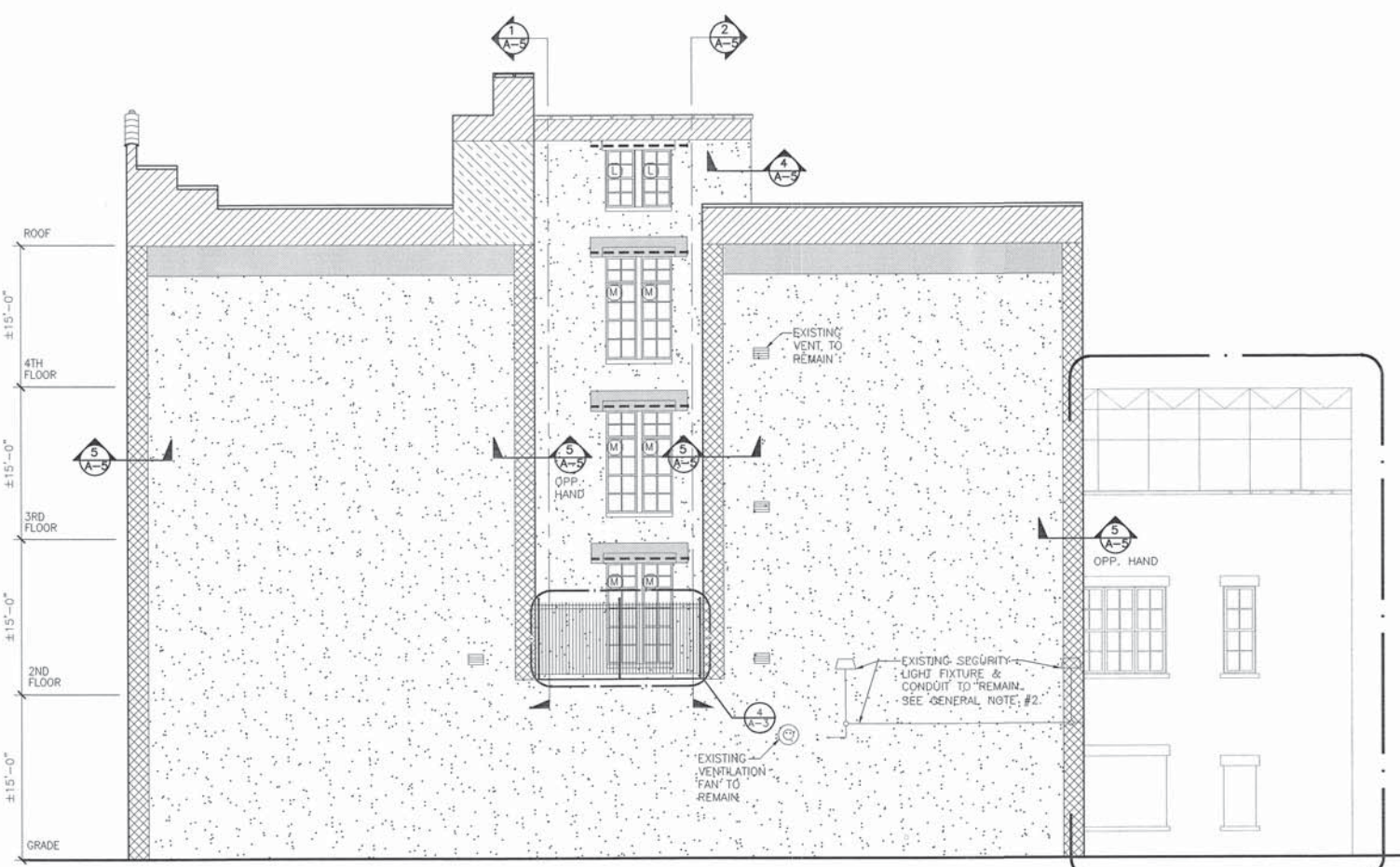
DIVISION OF STRUCTURES
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 116 WILLIAMS AVENUE
 BROOKLYN, NY 11207
 FOR THE:
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DRAWING TITLE:
NORTH ELEVATION/ SECTIONS

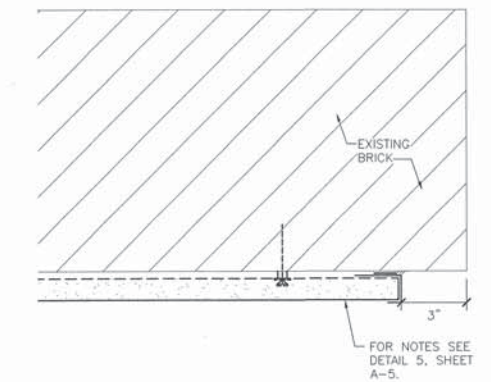
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 SHEET NO.: A-5



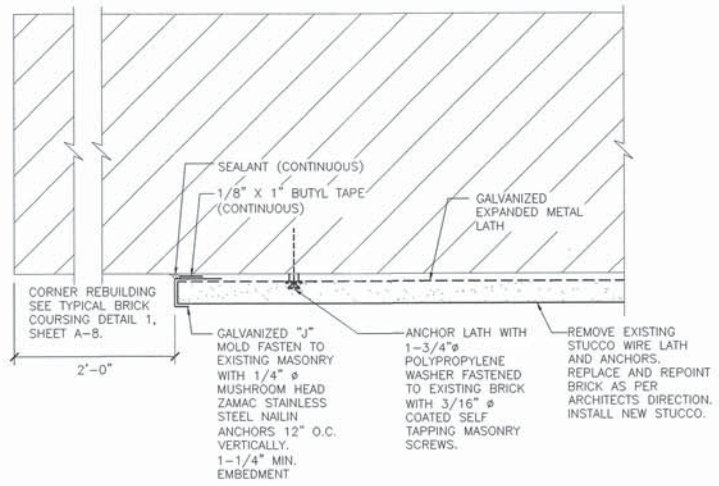
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2 ELEVATION @ RETURN SCALE: 1/8"=1'-0" 10'



3 NORTH ELEVATION SCALE: 1/8"=1'-0" 10'



4 STUCCO DETAIL @ BULKHEAD CORNER SCALE: 3"=1'-0"



5 TYPICAL STUCCO DETAIL SCALE: 3"=1'-0"

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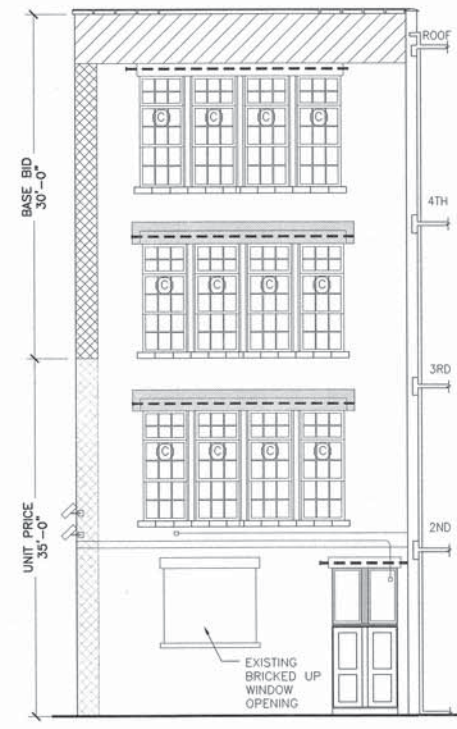
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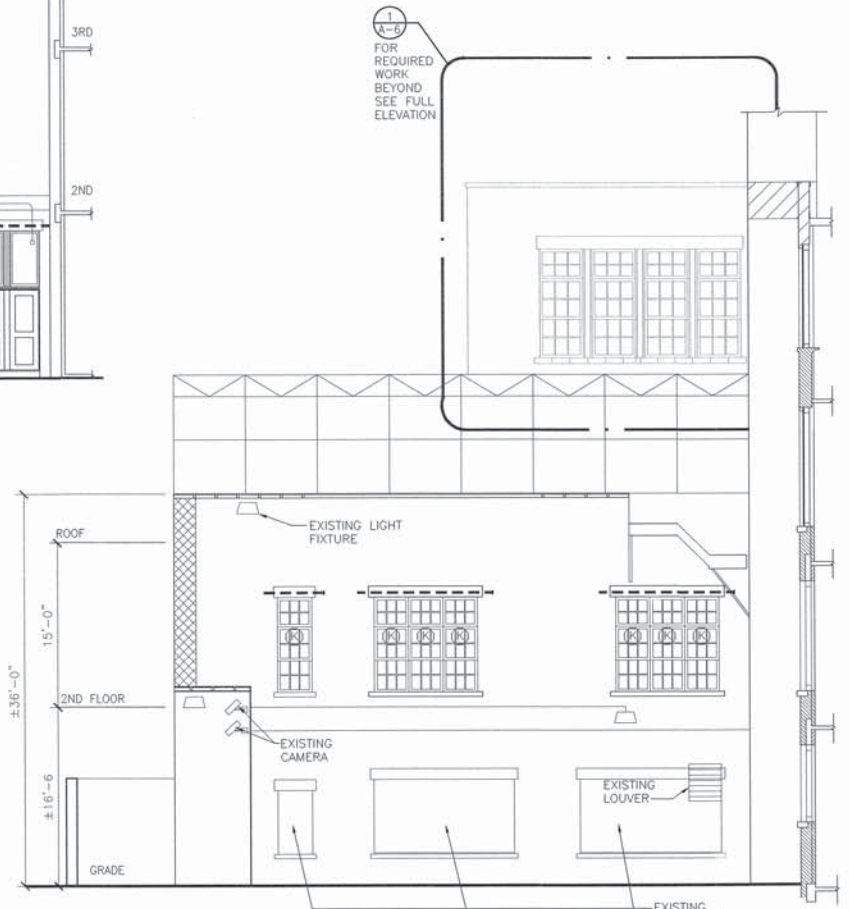
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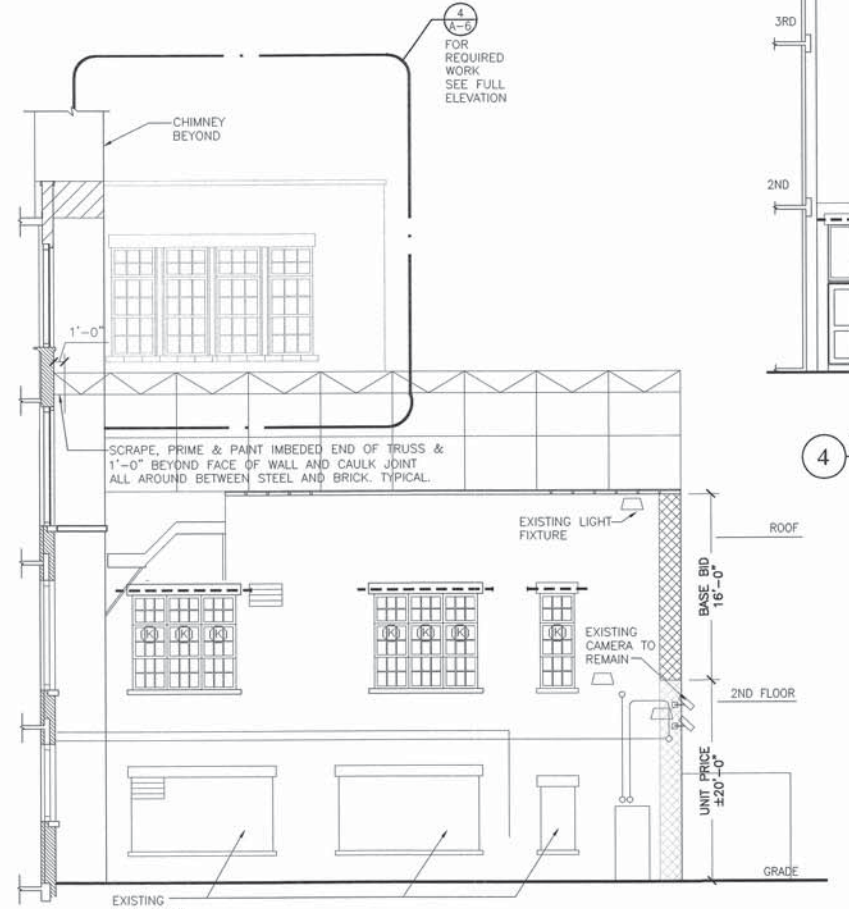
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A-6



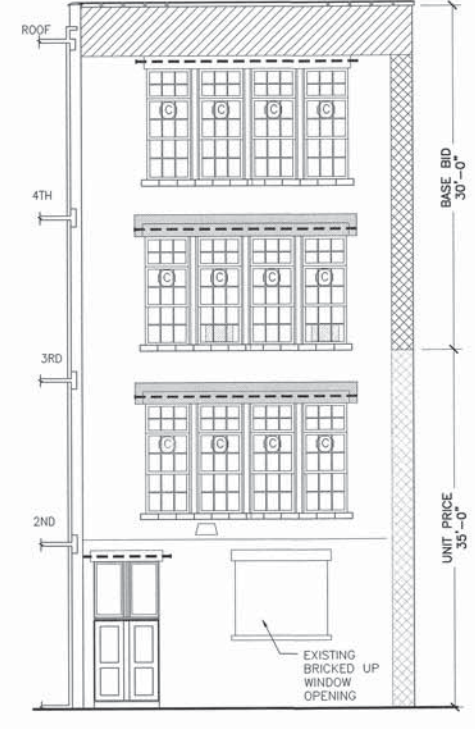
1 ELEVATION



2 COURTYARD ELEVATION



3 COURTYARD ELEVATION



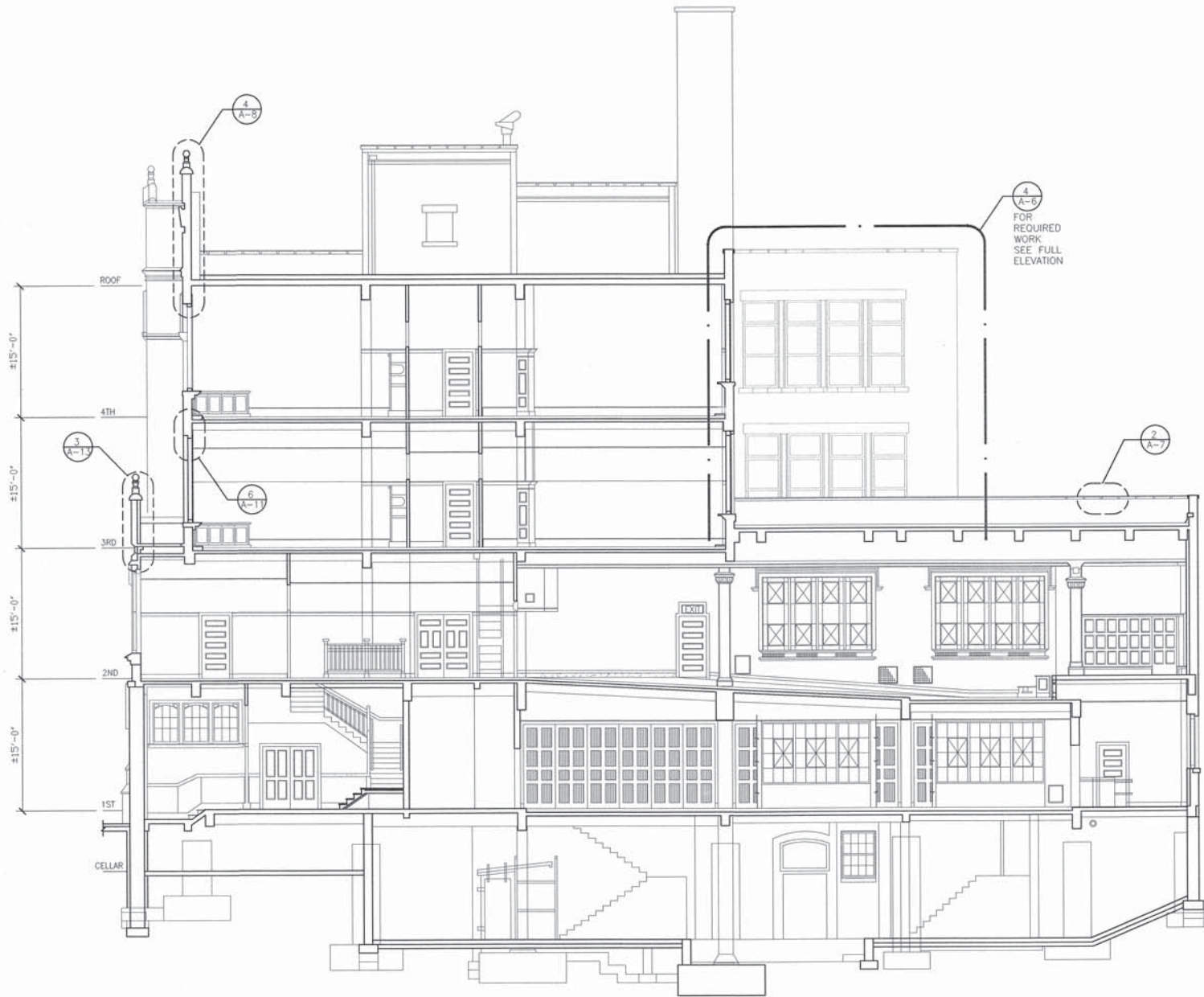
4 ELEVATION

LEGEND OF SYMBOLS

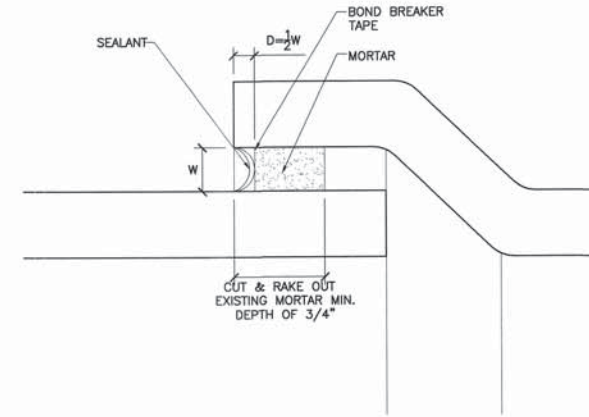
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DISMANTLE EXISTING PARAPET. SCRAPE, PRIME, PAINT AND FLASH SPANDREL STEEL. REBUILD PARAPET TO MATCH EXISTING.		REMOVE EXISTING TERRA COTTA AS REQUIRED TO EXPOSE AND TREAT SPANDREL BEAM, AND REPLACE WITH GLASS FIBER REINFORCED CONCRETE.		REPLACE OUTER WYTHE OF BRICK WITH NEW BRICK TO MATCH EXISTING.
	REMOVE EXISTING BRICK TO EXPOSE STEEL SPANDREL BEYOND. SCRAPE, PRIME, PAINT AND FLASH SPANDREL STEEL, REPLACE LINTEL WHERE DESIGNATED AND INSTALL NEW BRICK TO MATCH EXISTING.		REPLACE DETERIORATED STEEL LINTELS. REMOVE MASONRY AS REQUIRED. (SEE STRUCTURAL DRAWINGS).		REMOVE EXISTING STUCCO. REPLACE CRACKED AND SPALLED BRICK. INSTALL NEW STUCCO.
	REBUILD CRACKED AND DISPLACED MASONRY AT CORNERS. REMOVE MASONRY, SCRAPE, PRIME, PAINT AND FLASH COLUMN STEEL. INSTALL NEW BRICKWORK TO MATCH EXISTING. (BASE BID UNLESS OTHERWISE NOTED).		CUT LIMESTONE TO EXPOSE CORRODED ANCHORS. MECHANICALLY CLEAN ANCHORS, APPLY PROTECTIVE COATING AND PATCH LIMESTONE. SEE TYPICAL SPALL REPAIR DETAIL, 1/A-9.		REPLACE WINDOWS © WINDOW DESIGNATION, (SEE SHEET A-14)

GENERAL NOTES:

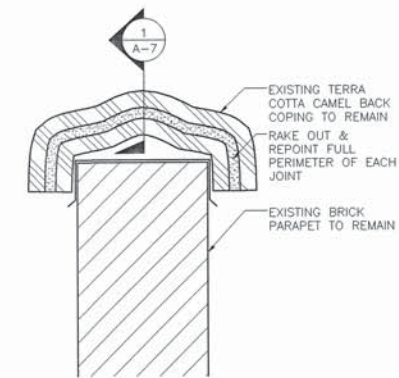
1. CONFIGURATION AND DIMENSIONS OF EXISTING CONSTRUCTION IS BASED ON ORIGINAL CONSTRUCTION DRAWINGS PREPARED IN 1923. CONTRACTOR SHALL VERIFY IN FIELD ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.
 2. TEMPORARILY DISCONNECT, REMOVE AND STORE EXISTING LIGHT FIXTURES AND ANTENNA(S) UNTIL REBUILDING OF MASONRY IS COMPLETE. EXISTING BRANCH WIRING AND CONDUIT SHALL BE MAINTAINED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:
 - A) PRIOR TO REMOVAL, VERIFY THAT EXISTING LIGHT FIXTURES ARE IN OPERATING CONDITION, PROPERLY GROUNDED, WIRING IS FREE OF SHORTS AND AUTOMATIC CONTROLS OPERATE IN A TIMELY MANNER.
 - B) STORE LIGHT FIXTURES ON SITE IN A LOCATION DESIGNATED BY THE BUILDING SUPERINTENDENT.
 - C) CLEAN REFLECTOR AND DIFFUSER OF EXISTING FIXTURES. INSTALL NEW LAMPS COMPLYING WITH MANUFACTURER'S RECOMMENDATION.
 - D) INSTALL NEW JUNCTION BOXES FOR REMOUNTING FIXTURES.
 - E) REPLACE ANY DAMAGED CONDUIT OR WIRING.
 - F) EXTEND WIRING AND CONDUIT AS REQUIRED TO ACCOMMODATE REBUILDING OF PARAPETS AND REINSTALLING EXISTING LIGHT FIXTURES.
 - G) REINSTALL LIGHT FIXTURES SECURELY AND REALIGN LIGHT BEAMS.
 - H) RESET AUTOMATIC CONTROLS AFTER WORK IS COMPLETE AND VERIFY THAT LIGHT FIXTURES OPERATE IN A TIMELY MANNER.
- THE CONTRACTOR SHALL HIRE AND COORDINATE A LICENSED ELECTRICIAN TO PERFORM THE WORK LISTED ABOVE.



1 SECTION A
0 5' 10' 20'



3 DETAIL AT BELL & HUB JOINT
SCALE: 6"=1'-0"



2 PARAPET SECTION @ LOWER ROOF
SCALE: 1-1/2"=1'-0"

4 A-6
FOR REQUIRED WORK SEE FULL ELEVATION

GENERAL NOTES:

1. CONFIGURATION AND DIMENSIONS OF EXISTING CONSTRUCTION IS BASED ON ORIGINAL CONSTRUCTION DRAWINGS PREPARED IN 1923. CONTRACTOR SHALL VERIFY IN FIELD ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.

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a joint venture
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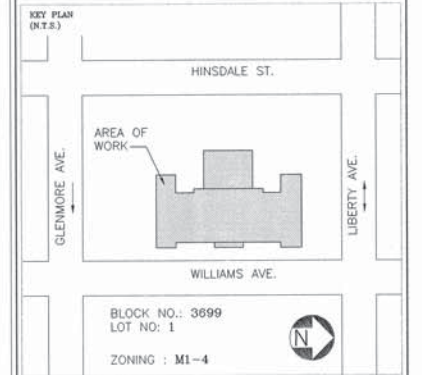
Ohlhausen DuBois Architects
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STRUCTURAL ENGINEERS:
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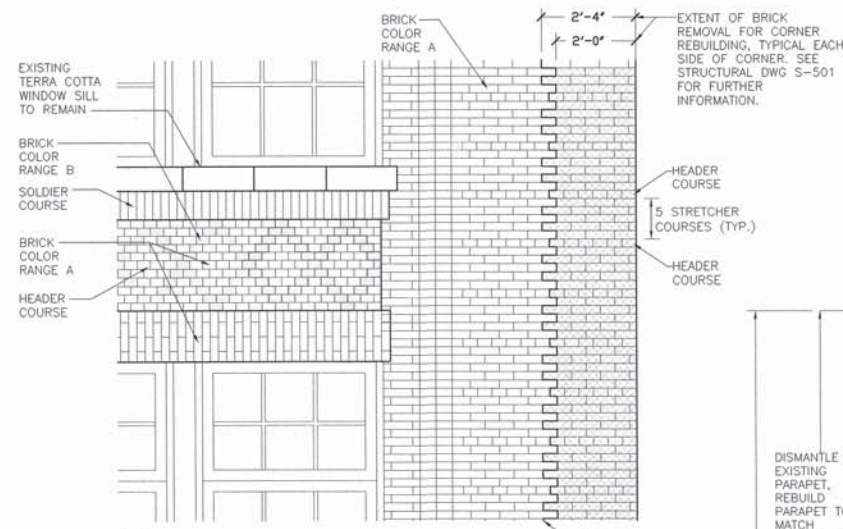
City of New York
DDC
Department of Design and Construction

DIVISION OF STRUCTURES
BUREAU OF ARCHITECTURE & ENGINEERING
CAPITAL PROJECT NO. HH112BWFD
PROJECT NAME:
EXTERIOR MASONRY RESTORATION & WINDOW REPLACEMENT AT BROOKLYN WOMEN'S SHELTER
116 WILLIAMS AVENUE
BROOKLYN, NY 11207
FOR THE:
DEPARTMENT OF HOMELESS SERVICES

DRAWING TITLE:
TRANSVERSE SECTION

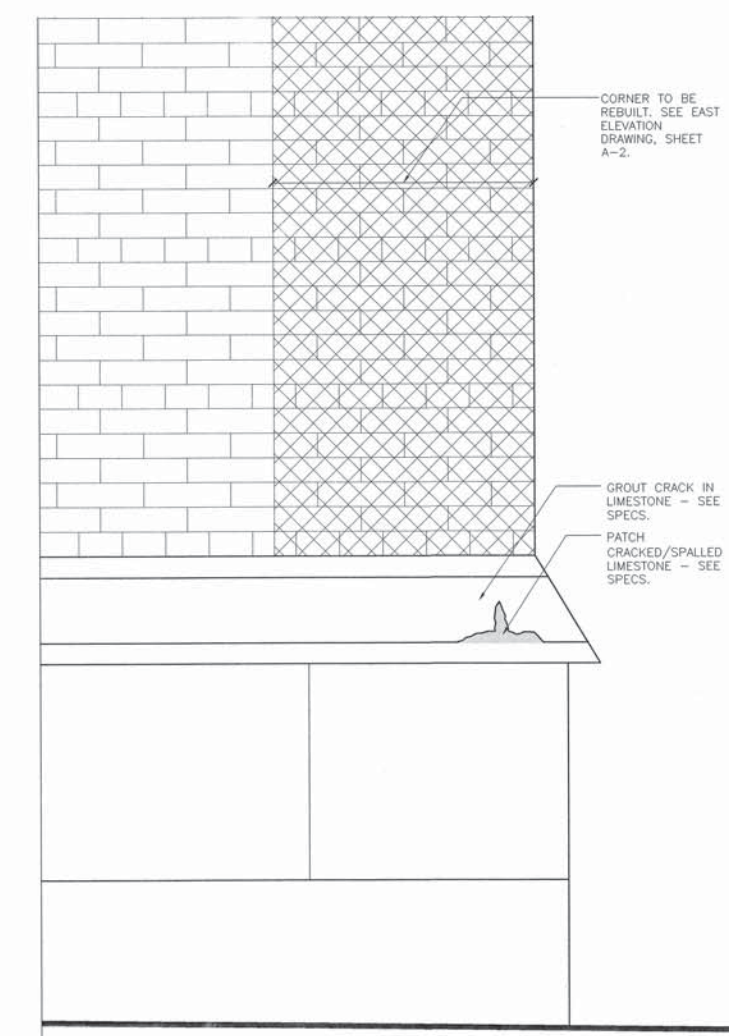
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DRAWN BY: C.A.	SCALE: 1/8"=1'-0"	
CHECKED BY: D.W.		

A-7



NOTE:
WHEREVER BRICK IS REMOVED, REPLACE WITH NEW BRICK TO MATCH EXISTING. REPLICATE EXISTING COURSING PATTERN.

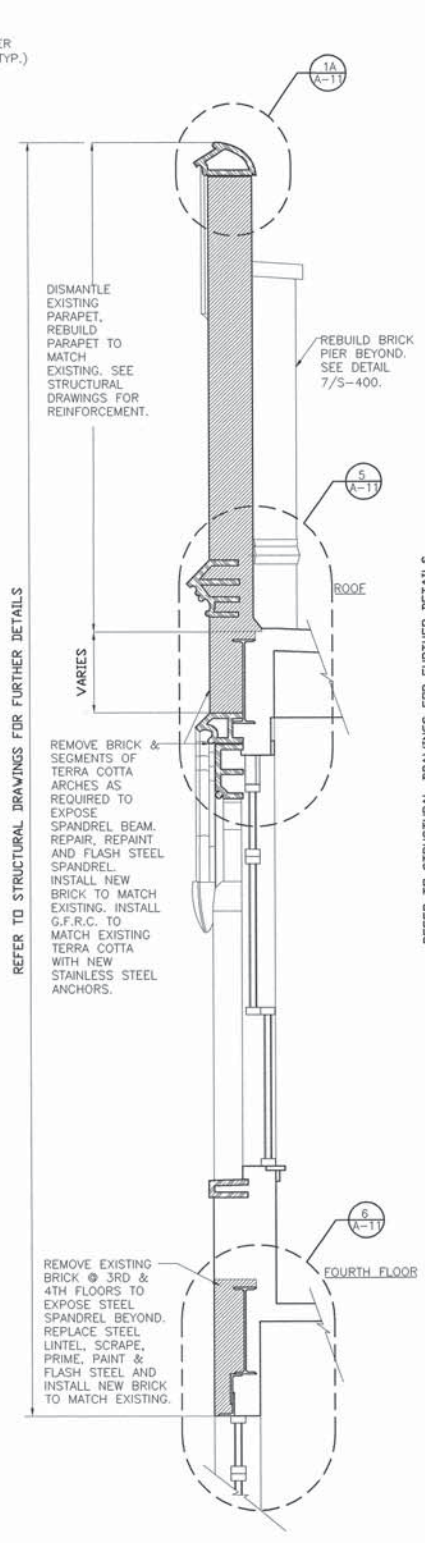
1 BRICK COURSING DETAIL
SCALE: 1/2"=1'-0"



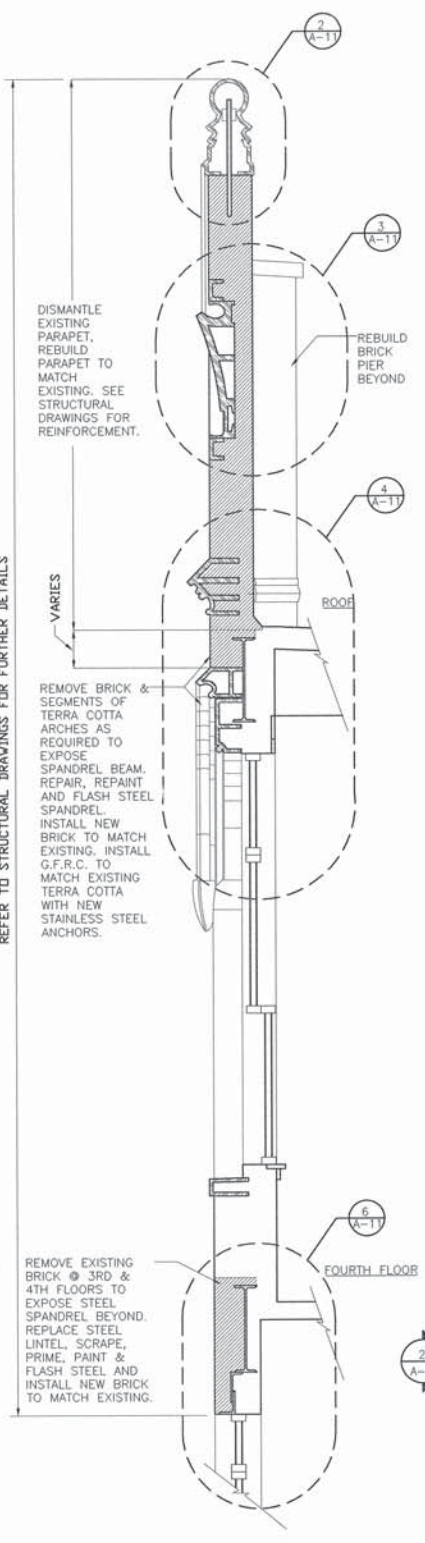
2 ELEVATION DETAIL
SCALE: 1-1/2"=1'-0"

GENERAL NOTES:

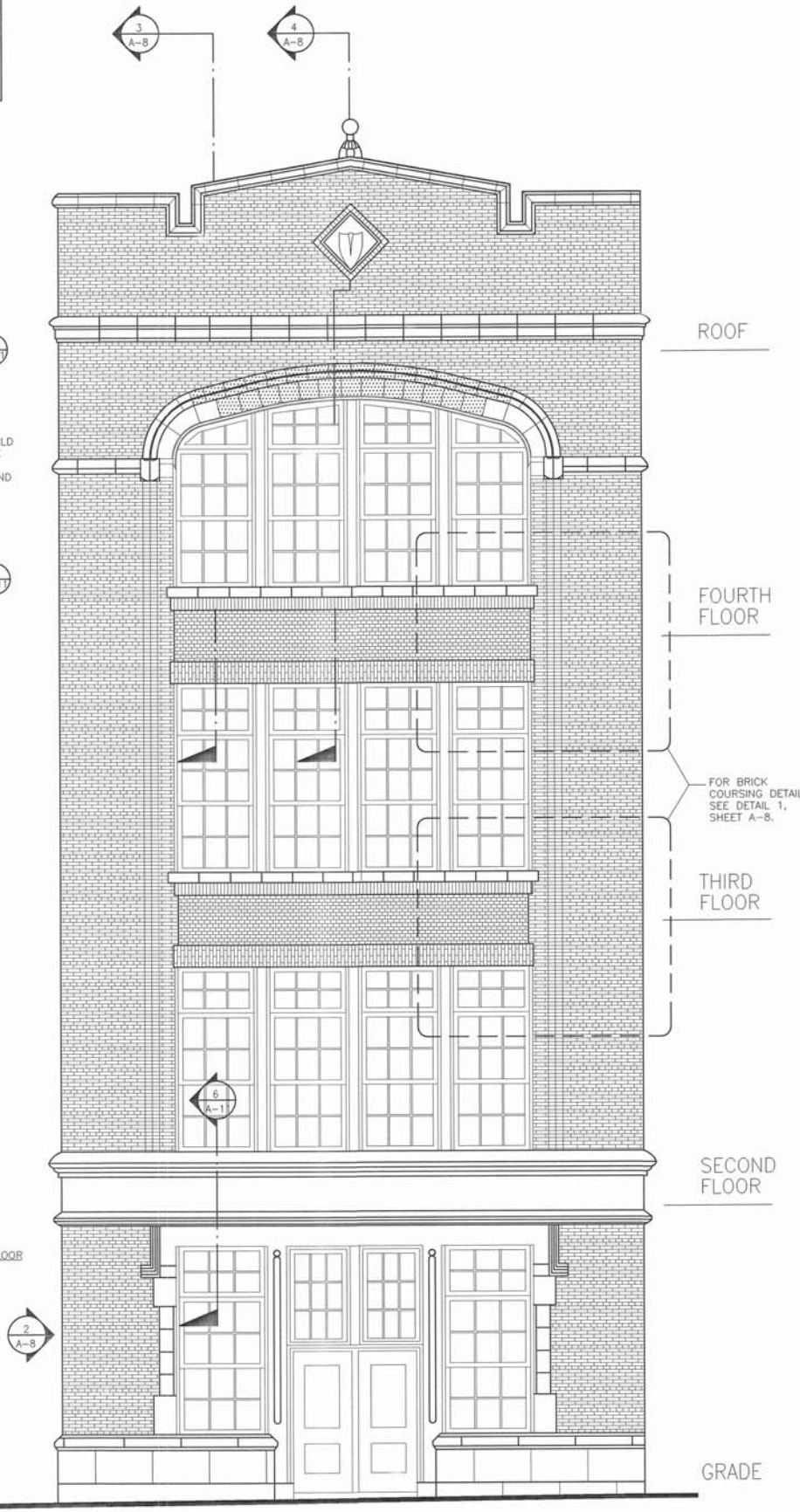
- CONTRACTOR SHALL SALVAGE BEST PIECE OF EACH TYPE OF TERRA COTTA, LABEL EACH TYPE AND STORE ON SITE FOR QUALITY CONTROL. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF SALVAGED TERRA COTTA UPON COMPLETION OF PROJECT.
- REFER TO STRUCTURAL DRAWINGS FOR INFORMATION ABOUT ANCHORS, TIES AND REINFORCEMENT.



3 SECTION
SCALE: 1/2"=1'-0"



4 SECTION
SCALE: 1/2"=1'-0"



5 TYPICAL BAY @ EAST ELEVATION
SCALE: 1/4"=1'-0"

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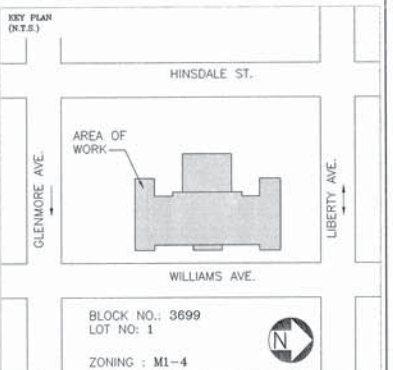
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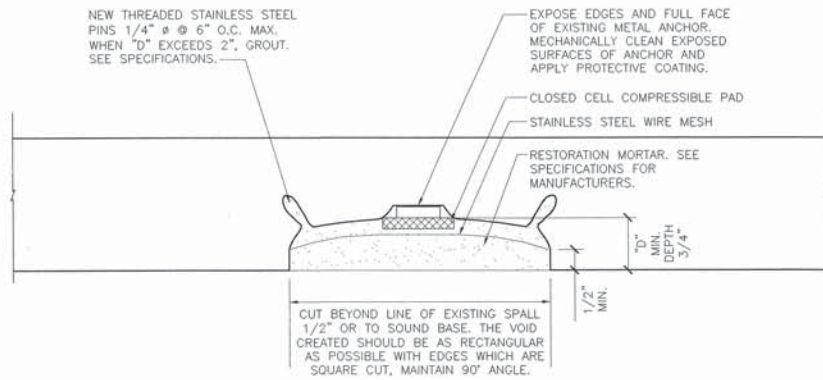
DIVISION OF STRUCTURES
BUREAU OF ARCHITECTURE & ENGINEERING
CAPITAL PROJECT NO. HH12BWFD
PROJECT NAME:
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116 WILLIAMS AVENUE
BROOKLYN, NY 11207
FOR THE:
DEPARTMENT OF HOMELESS SERVICES

DRAWING TITLE:
ENLARGED ELEVATIONS/SECTION

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DRAWN BY: C.A.	SCALE: AS NOTED	A-8
CHECKED BY: D.W.		

SPALL REPAIR DETAIL NOTES:

1. REPAIRS TO MATCH EXISTING LIMESTONE IN COLOR, PROFILE AND TEXTURE.
2. REMOVE ALL LOOSE AND DETRIORATED LIMESTONE.
3. COMPLETE PREPARATION BY WASHING THE SURFACE WITH CLEAN WATER AND A BRISTLE BRUSH ONLY AFTER PROTECTIVE COATING ON ANCHOR IS COMPLETELY DRY.
4. PREPARE SURFACE AND MIX, APPLY AND FINISH RESTORATION MORTAR IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
5. BUILD UP PATCHING MATERIAL SLIGHTLY ABOVE ADJACENT MASONRY SURFACE.
6. AFTER ACHIEVING INITIAL SET, SCRAPE AWAY EXCESS RESTORATION MORTAR UNTIL THE DESIRED PROFILE IS OBTAINED.



1 TYPICAL LIMESTONE SPALL REPAIR DETAIL
SCALE: 6"=1'-0"



2 ENTRANCE ELEVATION
SCALE: 3/8"=1'-0"

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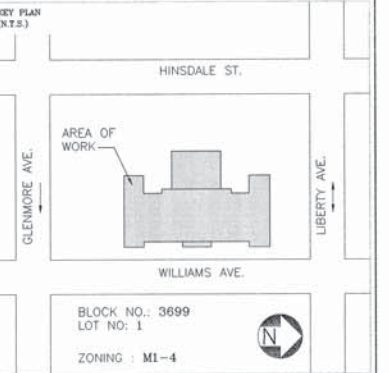
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ENLARGED ENTRANCE ELEVATION

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CHECKED BY: D.W.		A-9